



CITY OF BRYAN

The Good Life, Texas Style.™

Incorporated 1871

Joey Dunn, Deputy City Manager

Bryan's Outlook

- Numerical Indicators
- Traditional Development Areas: Downtown, Westside, Eastside
- Major Planning Initiatives: Downtown North, Regional Park, Midtown
- Expansion Areas: Annexation

LOCATION

100 miles from Houston
102 miles from Austin
175 miles from Dallas

CITY OF BRYAN DEMOGRAPHICS

POPULATION

87,325

Median Age is 30

49.84% Male

50.16% Female

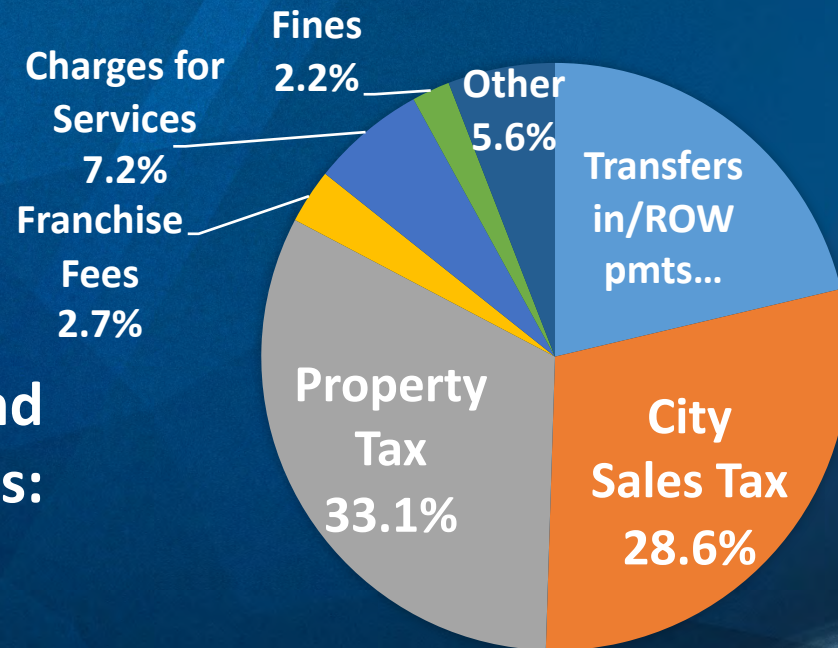
\$ \$45,209 Median Household Income
\$190,000 Median Home Value

FY2019 ADOPTED BUDGET:

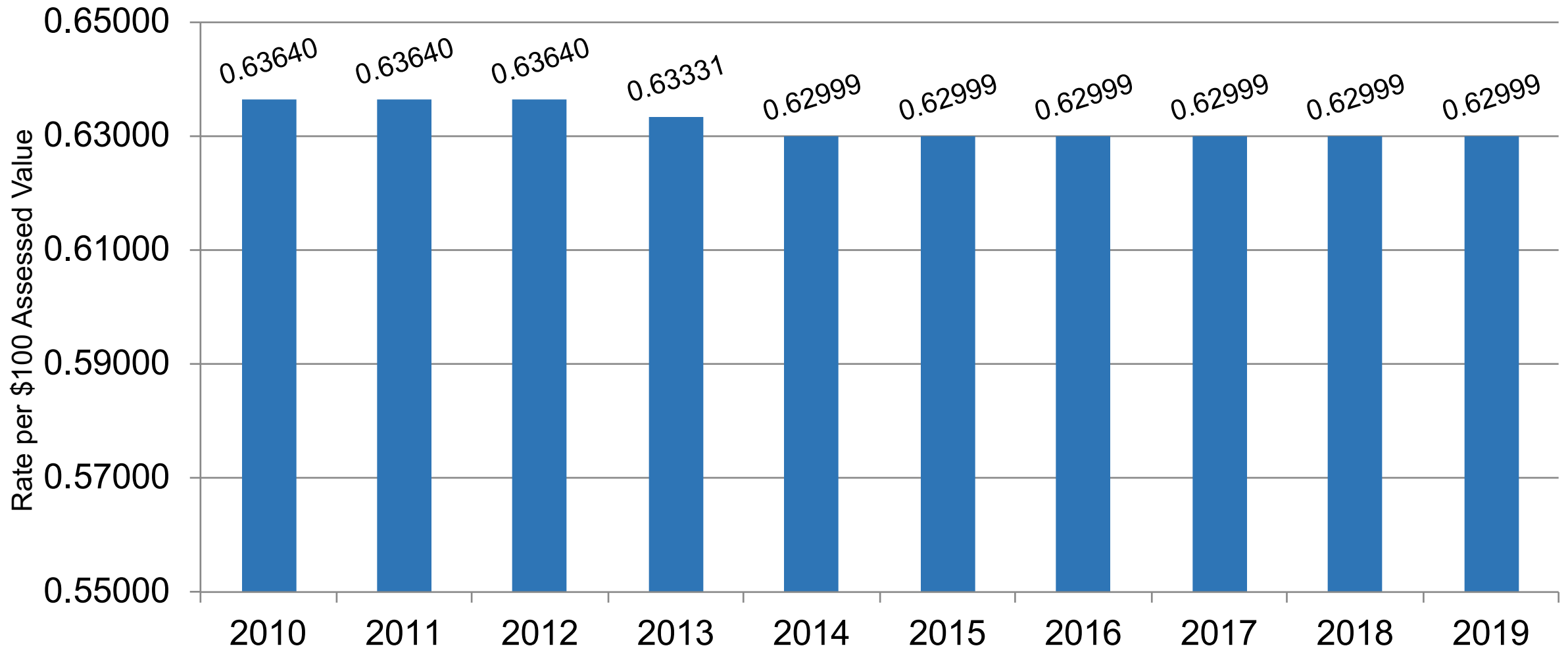
Revenues: \$391M

Expenditures: \$405M

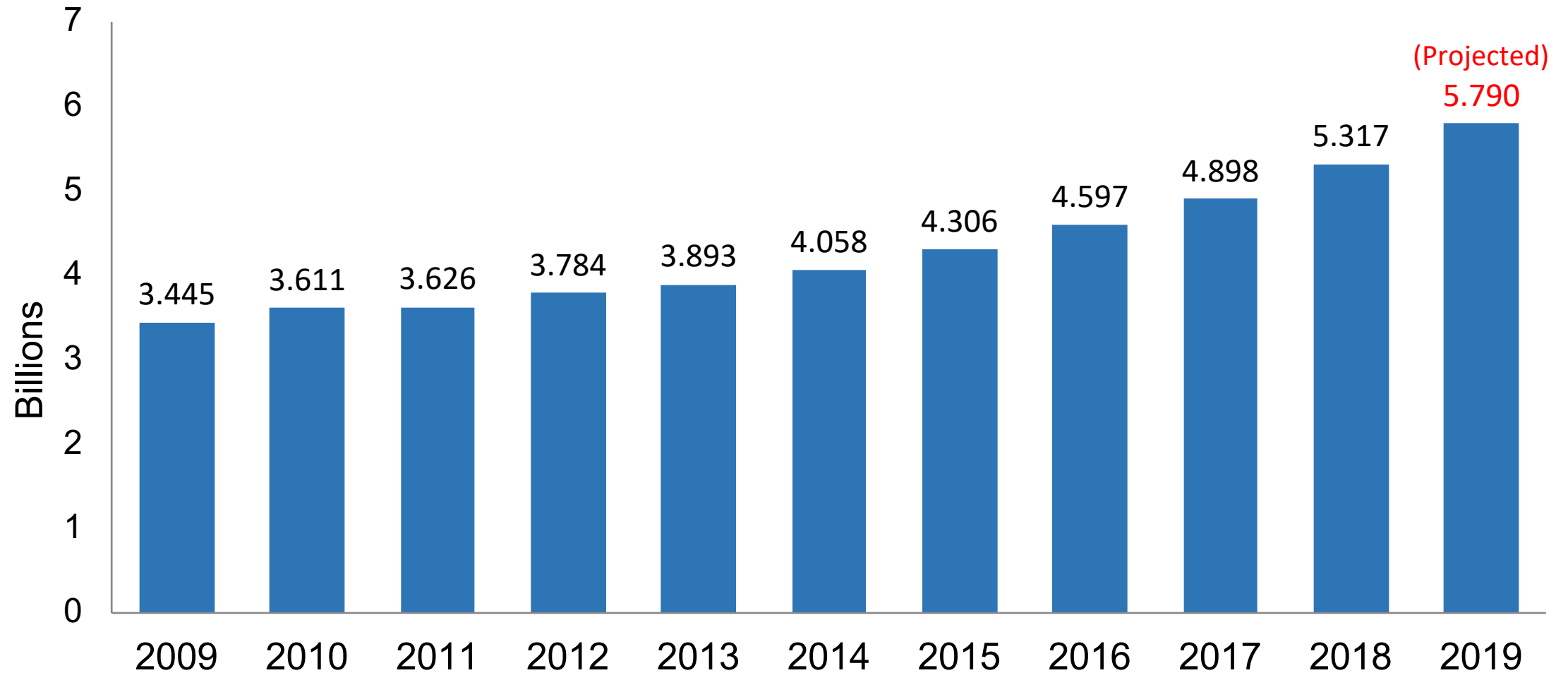
General Fund Revenue Sources:



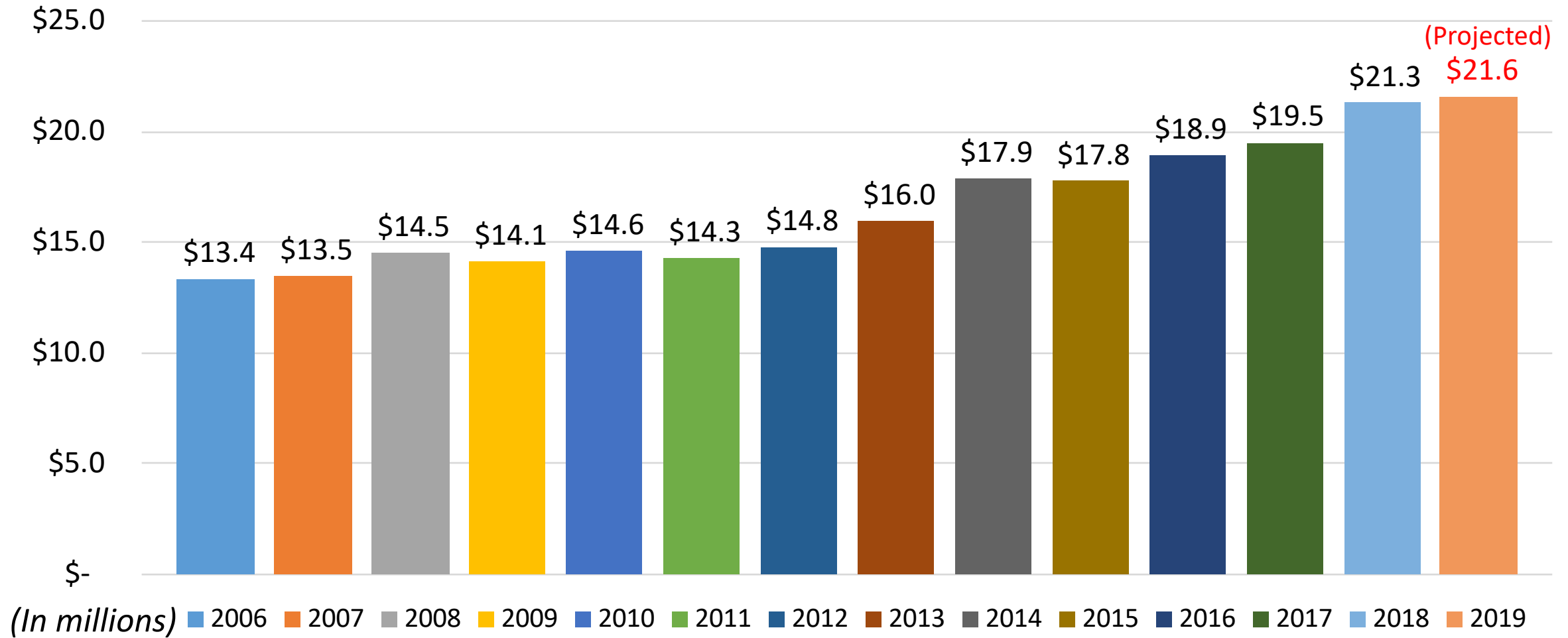
Bryan Property Tax Rate FY2010-2019



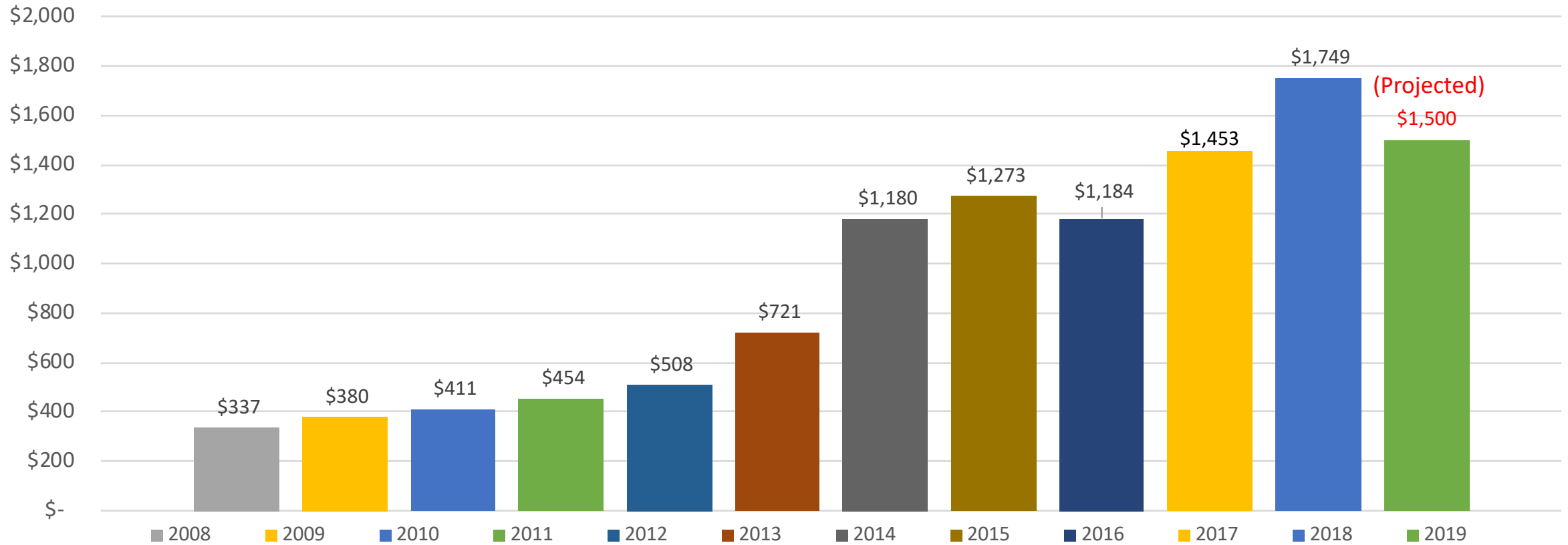
Bryan Net Taxable Property Value FY2010-2019



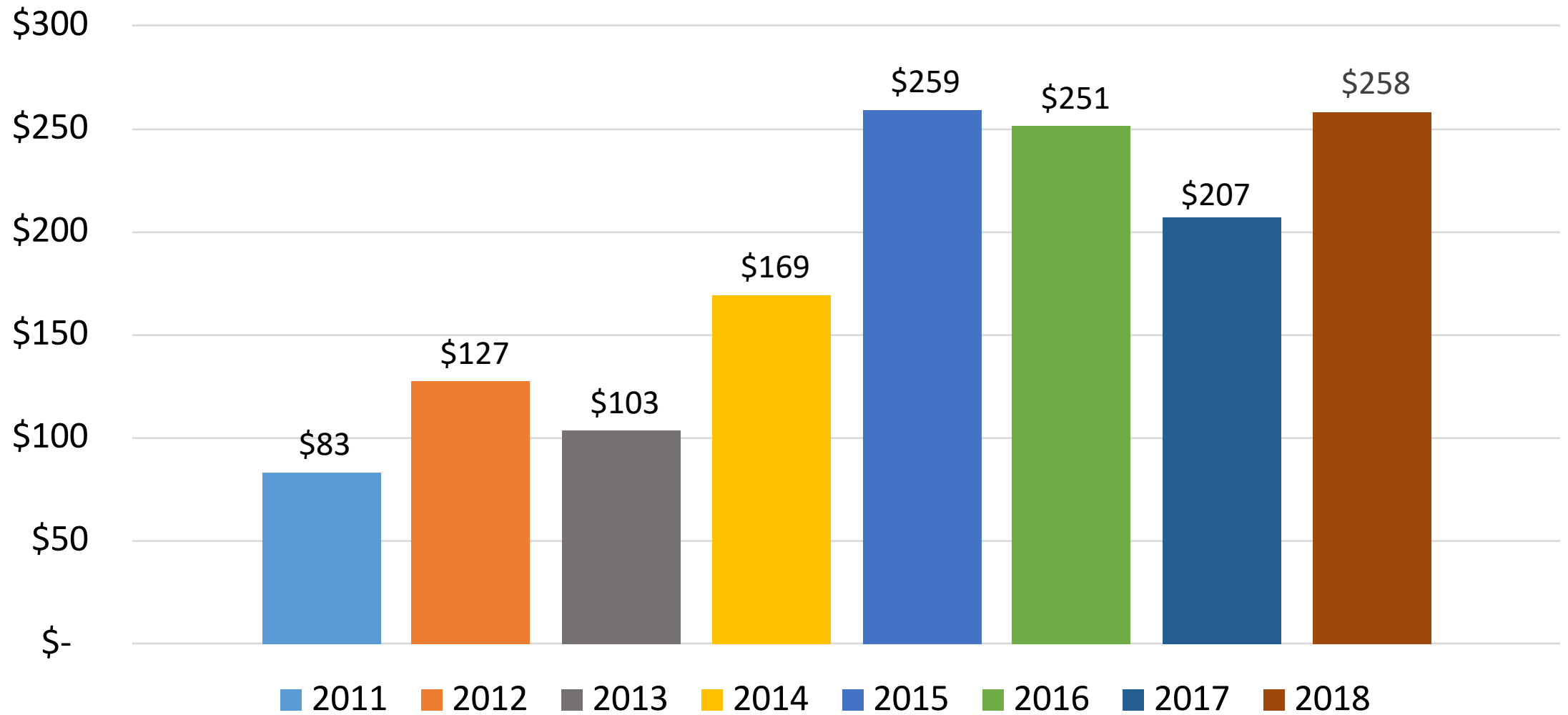
Bryan Sales Tax Revenues FY2006-2019



Bryan Hotel/Motel Occupancy Tax (HOT) FY2008-2018



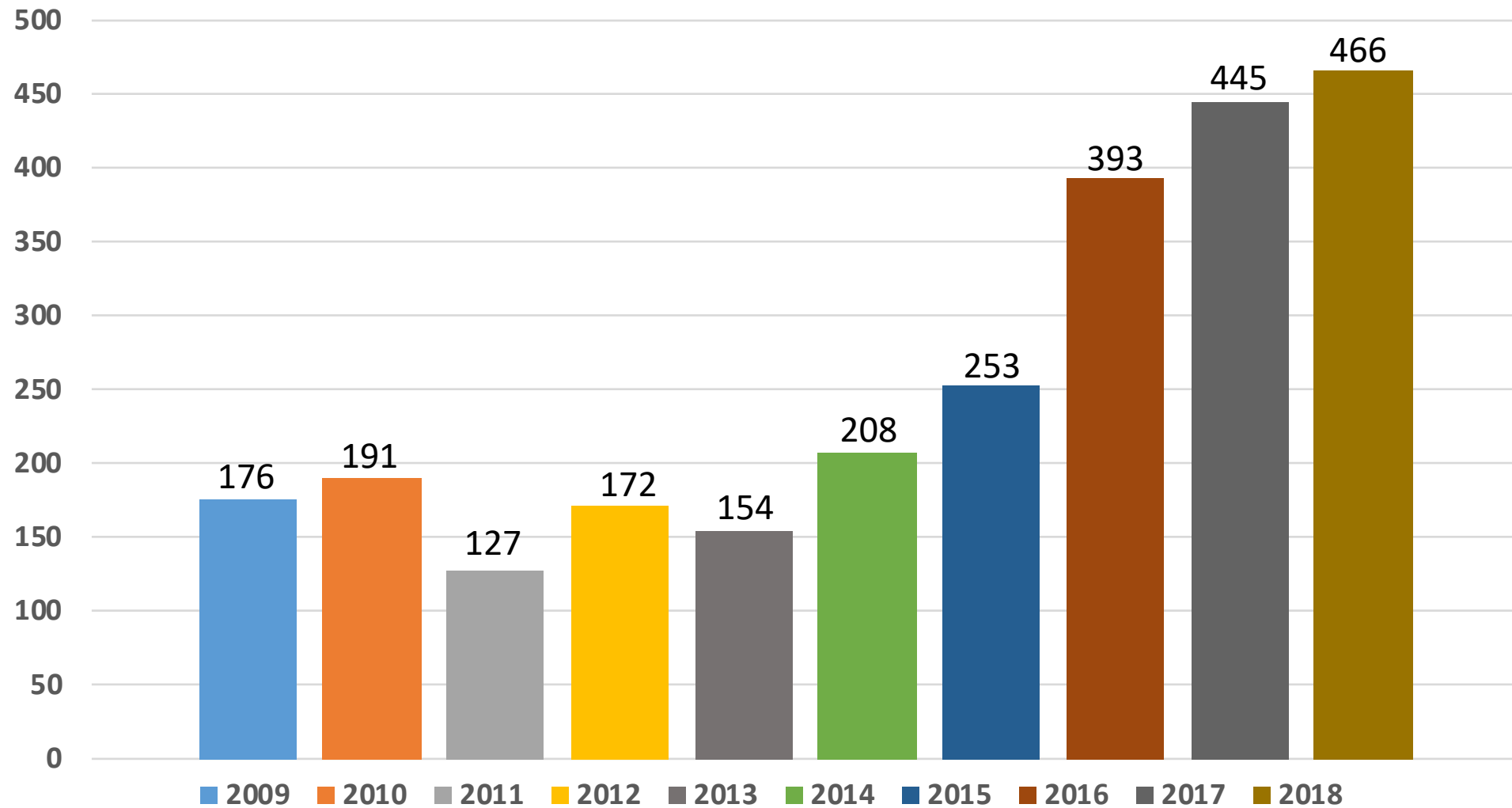
Bryan New Construction Values added in years 2011-2018



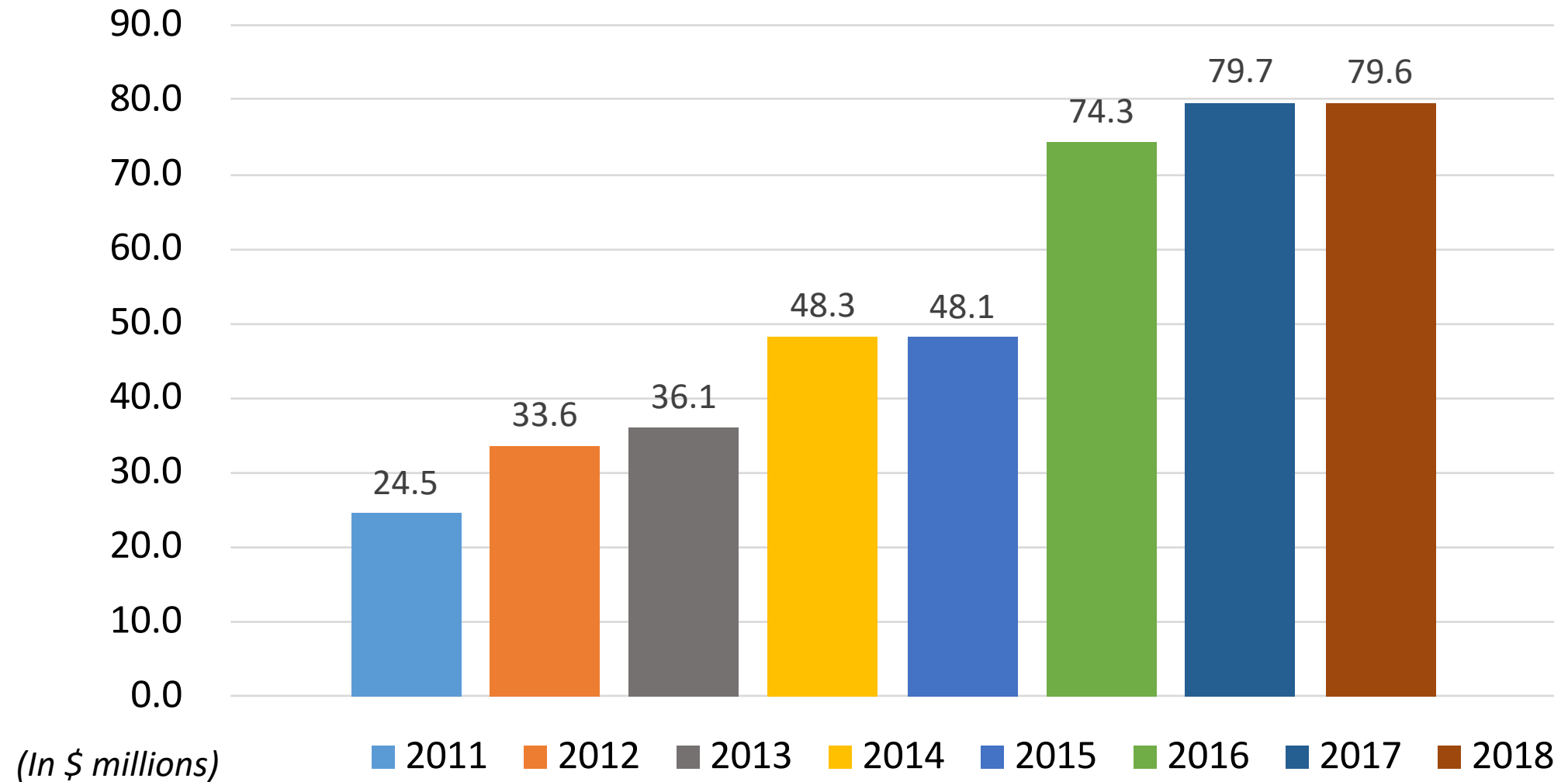
Single Family Residential Boom: 289 percent growth since 2013



Bryan Single Family Detached Permits 2009-2018



Bryan Permitted Single Family Detached Home Values 2011-2018



Tax Increment Reinvestment Zones (TIRZ)

- **Park Hudson (TIRZ 8)**
- **Traditions (TIRZ 10)**
- **Nash/ Post Office (TIRZ 19)**
- **Downtown (TIRZ 21)**
- **Target/ Harrison Hills (TIRZ 22)**

Bryan Incentive Programs

- **Texas Avenue Beautification**
 - 9 projects, \$100K per year
- **Life Safety Grant**
 - Help fund code items for historic buildings
 - \$100K per year
- **Downtown Improvement Program (façade grant)**
 - TIRZ funded, over 50 projects in 15 yrs
- **Builder Incentive Program**

Bryan Incentive Programs

Builder Incentive Program – Originally adopted in 2014

- Original target 2,200 – 3,000 s.f. single family detached
 - Waiver of building permit fees
 - Waiver of sewer (\$350 max) & water tap fees (\$400 max)*
 - Parade of homes entry fee reimbursement
- Target range homes 5-year avg. up 300 percent (27 vs. 81)
- Participation of Bryan homes in HBA Parade of Homes doubled during the Spring and Fall shows



Historic Downtown Bryan



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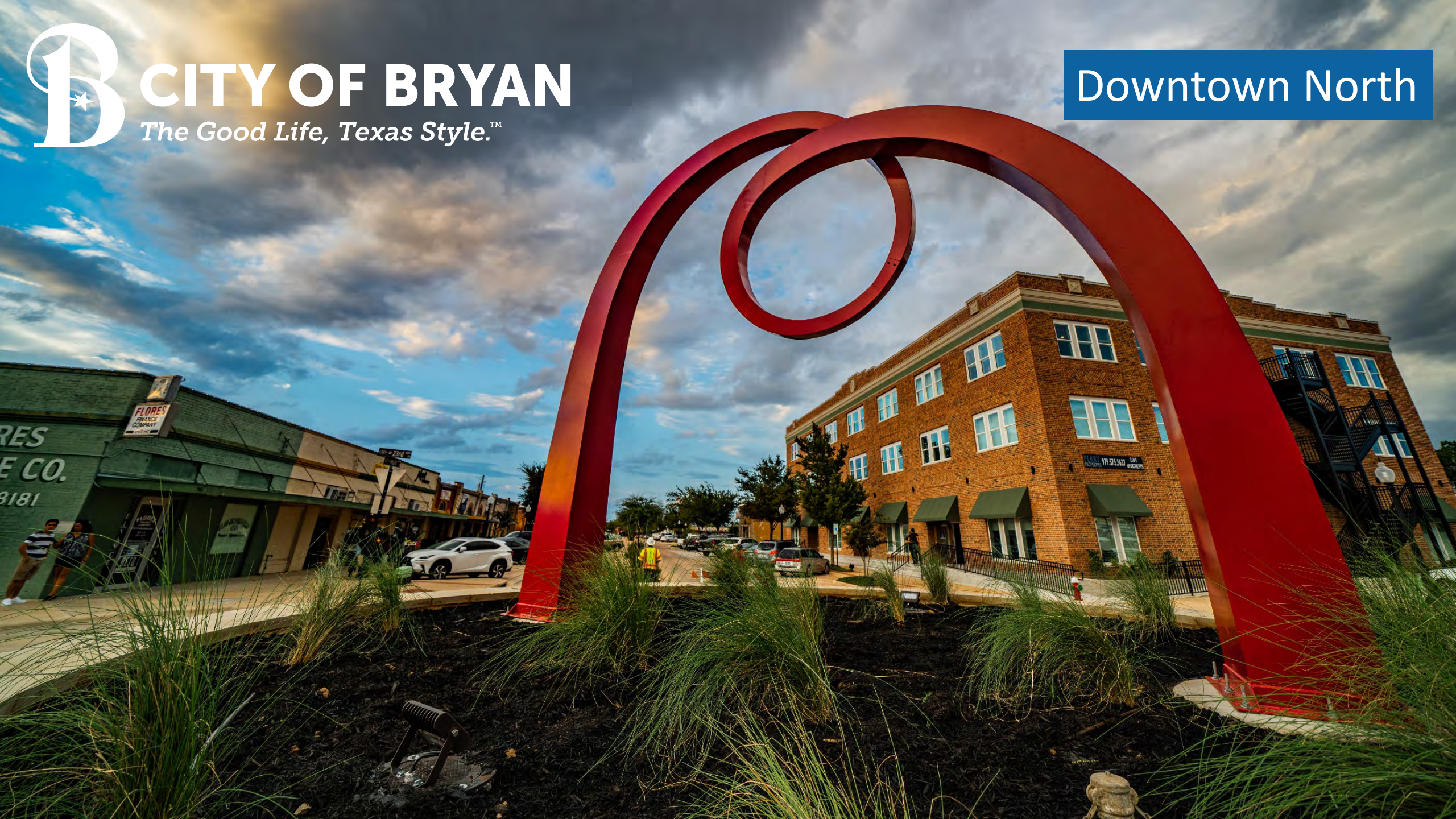
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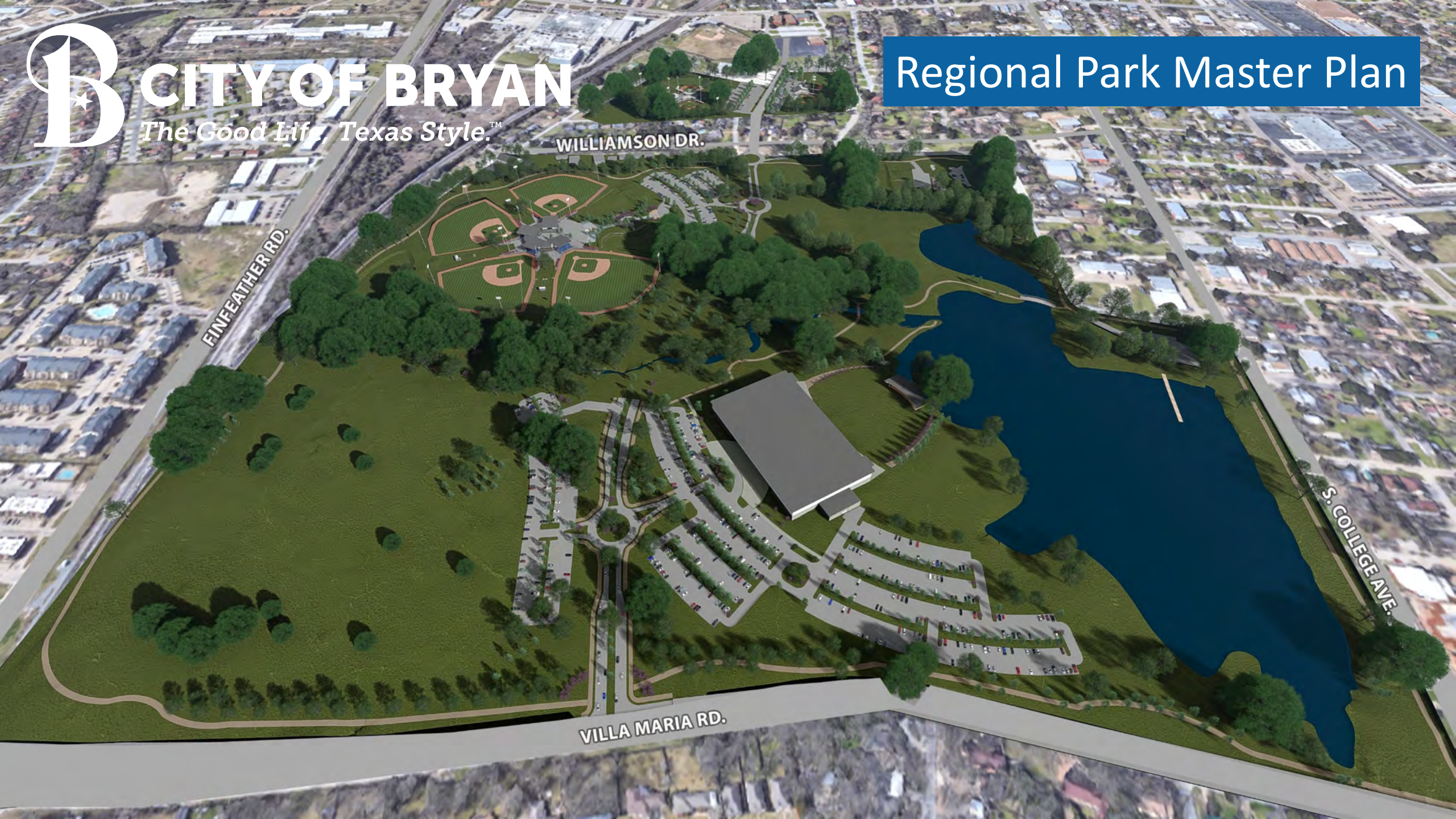






City Course at the Phillips Event Center









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Regional Park Master Plan



Regional Park Master Plan

PHASE A

- 1 SPORTS & EVENT CENTER**
 - SPORTS AND EVENT CENTER
 - PARKING (+800 SP)
 - SIDEWALKS
 - LANDSCAPE
- 2 AMPHITHEATER & GRAND LAWN**
 - AMPHITHEATER
 - GRAND LAWN
 - RESTROOMS/CONCESSION
 - GATHERING NODES
 - SIDEWALKS
 - WATER FEATURE
 - PLAY AREA
- 3 TRAVIS PARK DIAMOND FIELDS**
 - 200' LITTLE LEAGUE FIELDS (5)
 - RESTROOMS/CONCESSIONS
 - BATTING CAGES (2)
 - LARGE MAINTENANCE YARD
 - NEW PARKING (+80 SP)
- 4 LAKE IMPROVEMENTS**
- 5 PARK INFRASTRUCTURE**
 - ENTRANCE ROAD

PHASE B

- 6 DIAMOND FIELDS**
 - 325' FLEX FIELDS (3)
 - 365' FLEX FIELD (1)
 - RESTAURANT/RESTROOMS/CONCESSIONS
 - PLAYGROUNDS
 - BATTING CAGES (10)
 - SIDEWALKS
 - GATHERING NODES
 - PARKING
 - LANDSCAPE
 - ROADWAY ENTRANCE







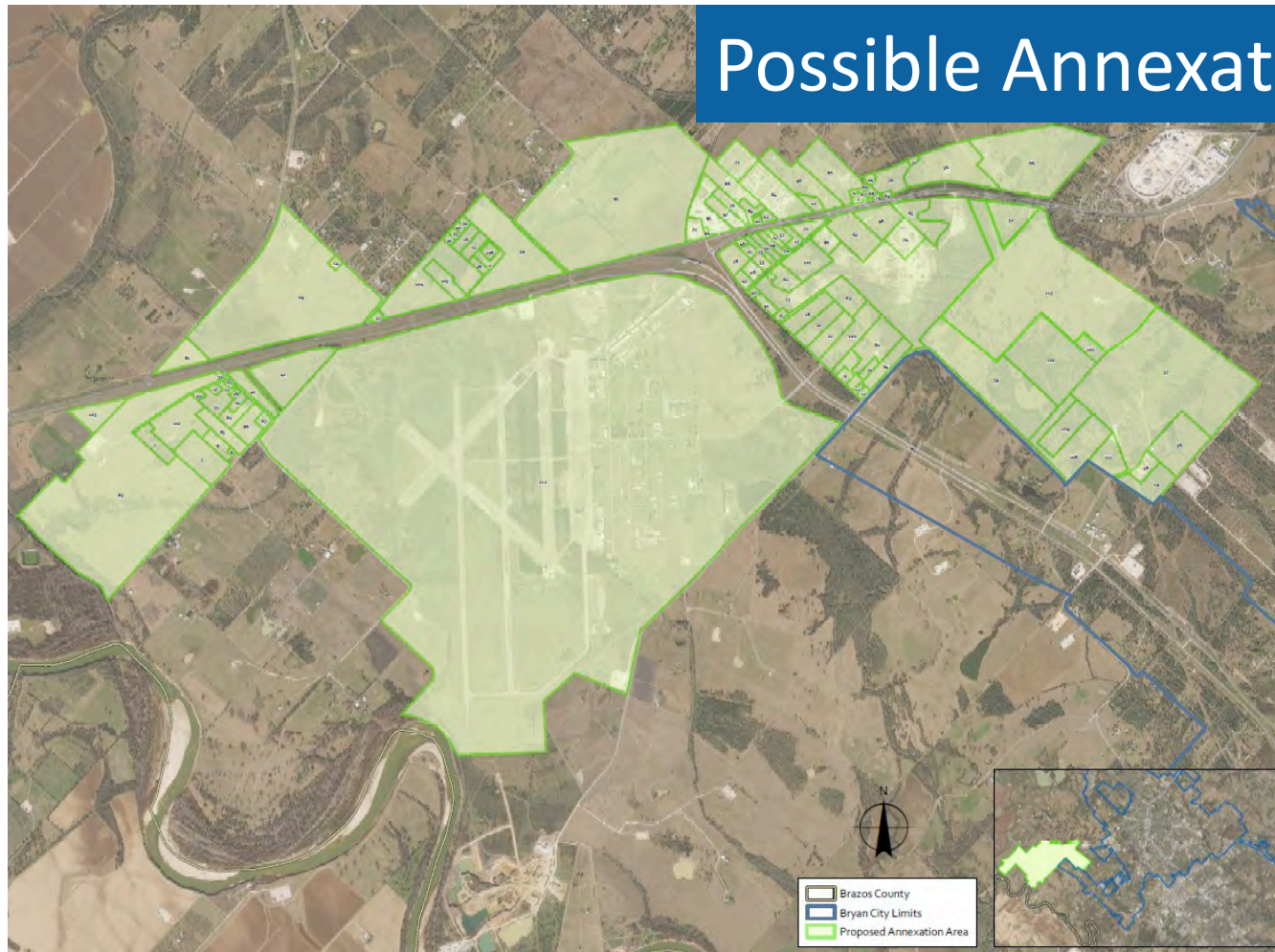
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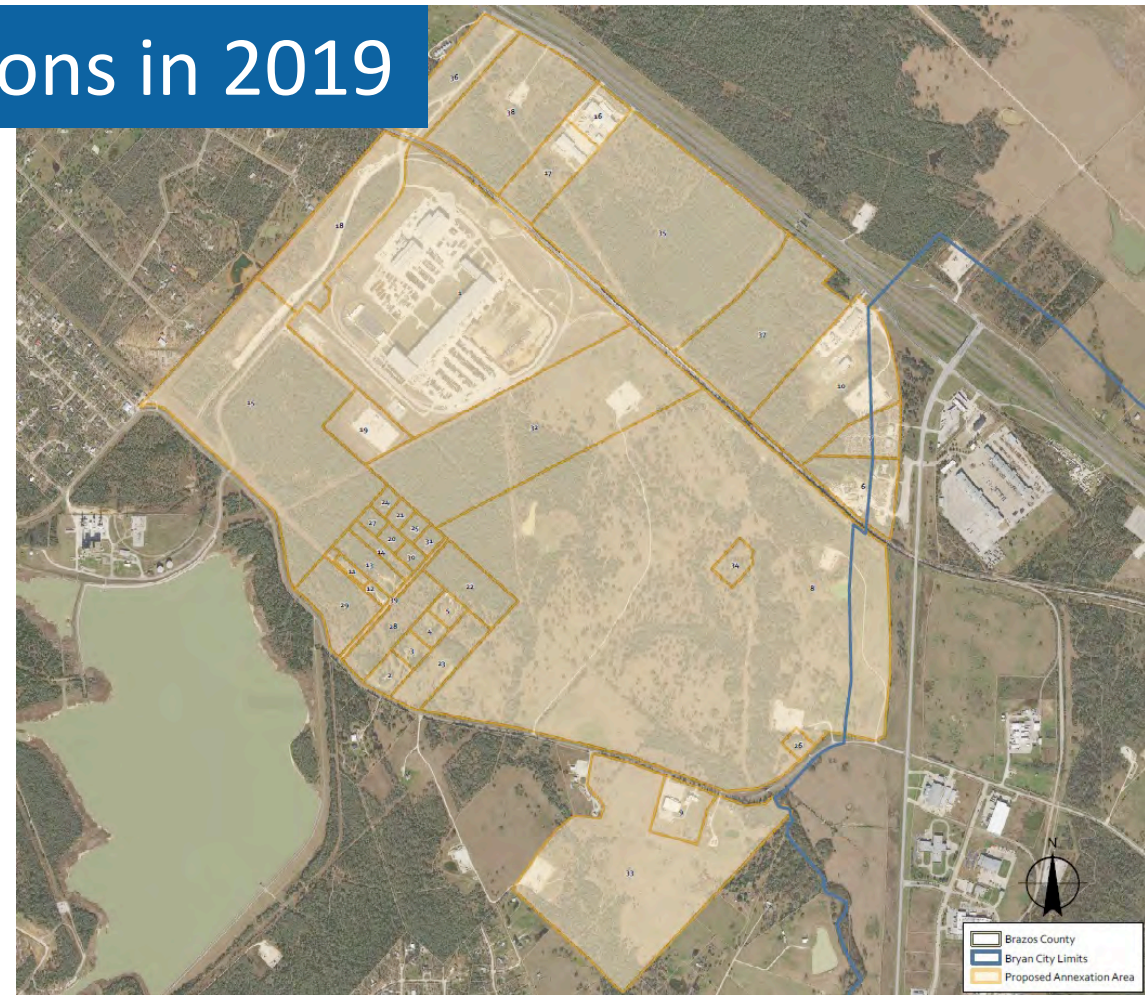
Midtown Study Area



Possible Annexations in 2019



RELLIS Area



Texas Triangle Park Area



Thank You